



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: December 10, 2014 REPORT NO. HO 14-076

ATTENTION: Hearing Officer

SUBJECT: CLAUSON RESIDENCE
PTS PROJECT NUMBER: 369275

LOCATION: 1119 Grand Avenue

APPLICANT: PACIFIC BEACH 2013, LTD, Property Owner (Attachment 10);
Dan Linn, Architect/Agent.

SUMMARY

Issue(s): Should the Hearing Officer approve the demolition of an existing single-family residence and construction of a new single family residence, within the Peninsula Community Plan area?

Staff Recommendation(s) – **APPROVE** Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759.

Community Planning Group Recommendation – On September 18, 2014, the Peninsula Community Planning Board voted 12-0-0 to recommend approval of the proposed project with no conditions.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. This project was determined to be categorically exempt from the California Environmental Quality Act on October 16, 2014 and the opportunity to appeal that determination ended November 6, 2014, 2014.

BACKGROUND

The 0.34 acre project site is located at 875 Sunset Cliffs Boulevard in the RS-1-7 zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay (Beach Impact Area) & Residential Tandem Parking Overlay Zone, within the Peninsula

Community Plan area (Attachment 1). The project site is legally described as Lot 19 in Block M of Azure Vista Map No. 1981, filed in the Office of the County Recorder of San Diego County, on January 4, 1927. The project site is designated for single-family residential land use in the Peninsula Community Plan and Local Coastal Program (Attachment 2). Adjacent land uses consist of single-family residential to the north, east and south, and Sunset Cliffs Natural Park overlooking the Pacific Ocean to the west. Off-site to the west of the project property lies a sensitive coastal bluff edge located under the pavement of Sunset Cliffs Boulevard, at which point the land descends down the approximately thirty-foot high bluff to the Pacific Ocean (Attachment 3).

The proposed project requires a Coastal Development Permit (CDP) per San Diego Municipal Code (SDMC) Section 127.0702 due to its location within the coastal overlay zone; a Site Development Permit (SDP) per SDMC Section 143.0110 is required due to the presence of environmentally sensitive lands on the project site in the form of sensitive coastal bluffs. Both of these permits are in accordance with Process Three (Hearing Officer as decision maker). The decision of the Hearing Officer is appealable to the Planning Commission and the California Coastal Commission.

DISCUSSION

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping. The proposed project requires a minimum of two (2) parking spaces; a total of six (6) parking spaces will be provided (four (4) parking spaces within carport structures, two (2) surface parking spaces) with all parking to be accessed from the alley. The existing dirt alley adjacent to the project site will be replaced with a full width concrete alley to meet current city engineering standards. Two (2) new street trees will be installed within the Sunset Cliffs Boulevard public right-of-way along the frontage of the property.

Sensitive Coastal Bluffs: Environmentally sensitive lands in the form of sensitive coastal bluffs are present on site. A coastal bluff edge lies off-site west of the project property, located under the pavement of Sunset Cliffs Boulevard, at which point the approximately thirty-foot high bluff descends down the to the Pacific Ocean; the western portion of the project property lies within the 100 foot top of bluff area. SDMC Section 143.0143(f) requires new development to be set back at least 40 feet from the coastal bluff edge. The existing home currently observes an approximate 57 foot setback from the bluff edge; the proposed home will observe a 68 foot bluff edge setback, increasing the bluff edge setback by an additional 9 feet. Staff concurs with the determination by the applicant's geotechnical consultant that the site is stable enough to support the proposed project, as detailed in their geology report "Preliminary Geotechnical Investigation, Proposed Clauson Residence, 875 Sunset Cliffs Boulevard, San Diego, California" prepared by Christian Wheeler Engineering, dated April 29, 2014.

The proposed complies with all of the underlying zone regulations including setbacks, building height and floor area ratio and no deviations are required. The development is consistent with the recommendations of the Peninsula Community Plan and Local Coastal Program (PCP/LCP)

which designates the site for single-family residential development. The PCP/LCP does not designate the site as having a public physical accessway, nor is it designated as having a proposed accessway or a public view corridor.

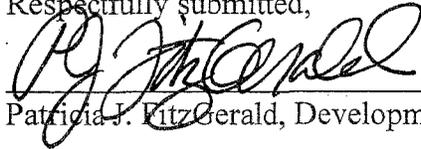
CONCLUSION

The proposed project complies with all of the underlying zone regulations including setbacks, building height and floor area ratio and no deviations are required. The development is consistent with the recommendations of the Peninsula Community Plan and Local Coastal Program (PCP/LCP) and with applicable environmentally sensitive lands regulations of the Land Development Code, including the Coastal Bluff and Beaches Design Guidelines.

ALTERNATIVE

1. Approve Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759, with modifications.
2. Deny Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759, if the findings required to approve the project cannot be affirmed.

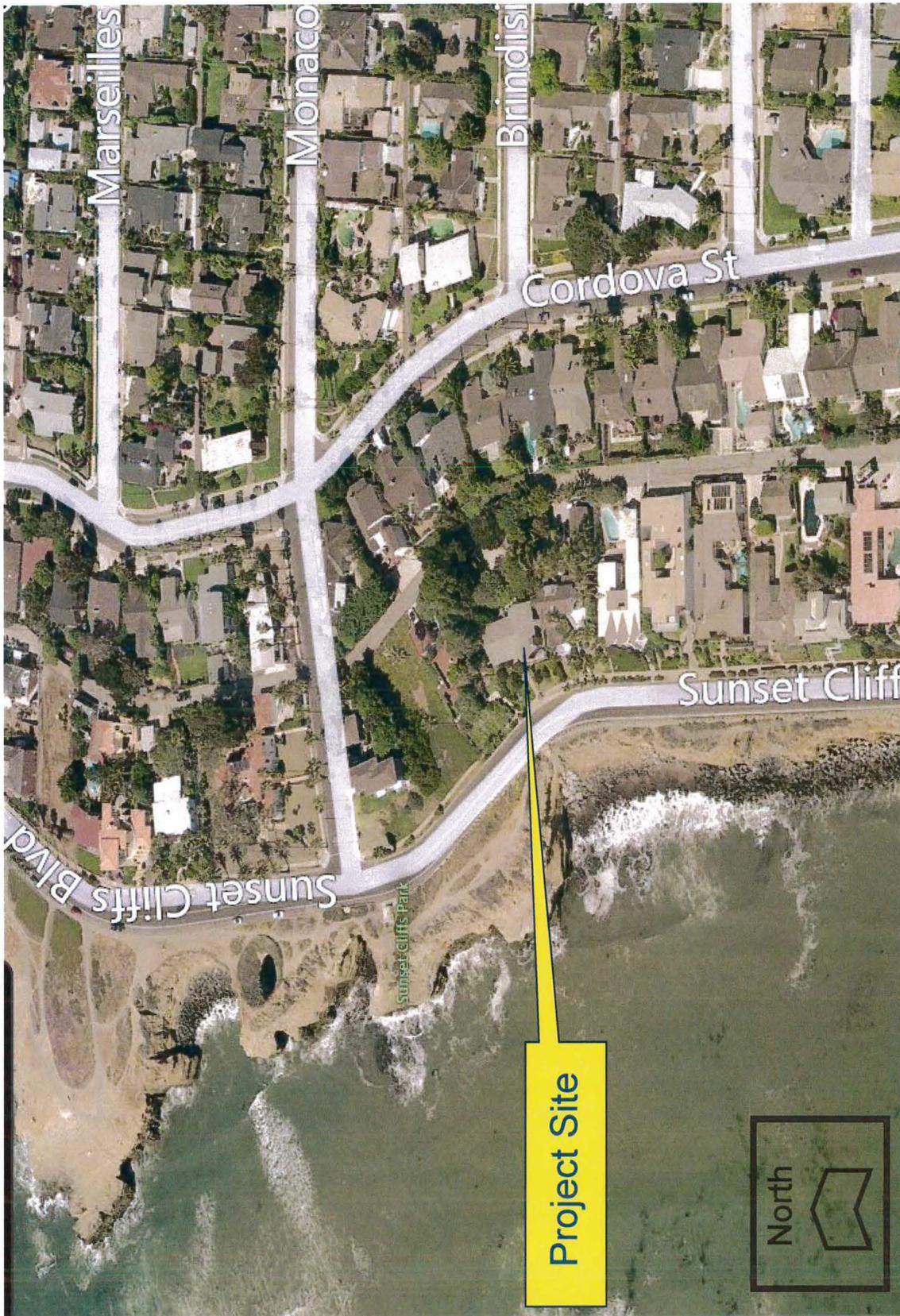
Respectfully submitted,

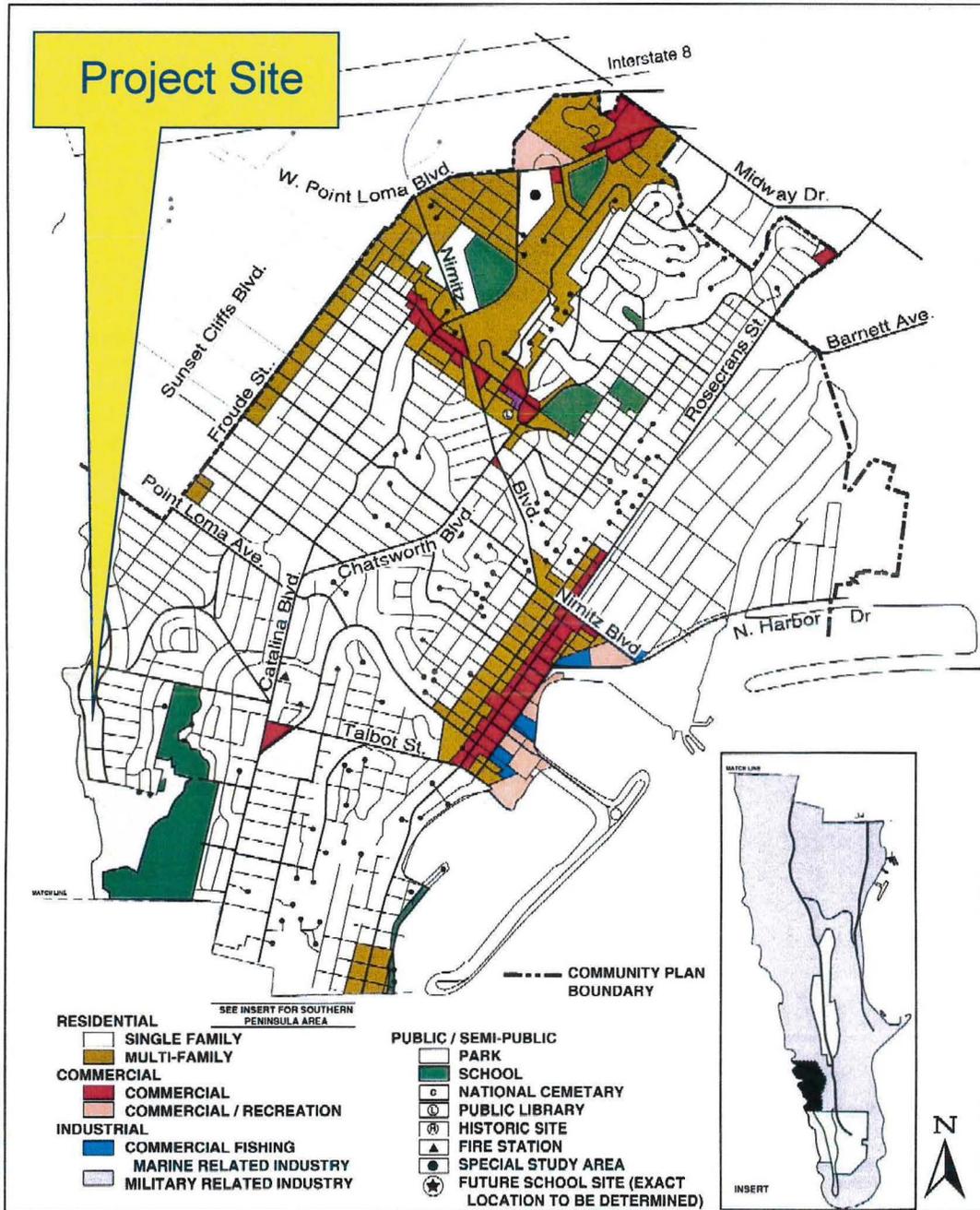


Patricia J. Fitzgerald, Development Project Manager

Attachments:

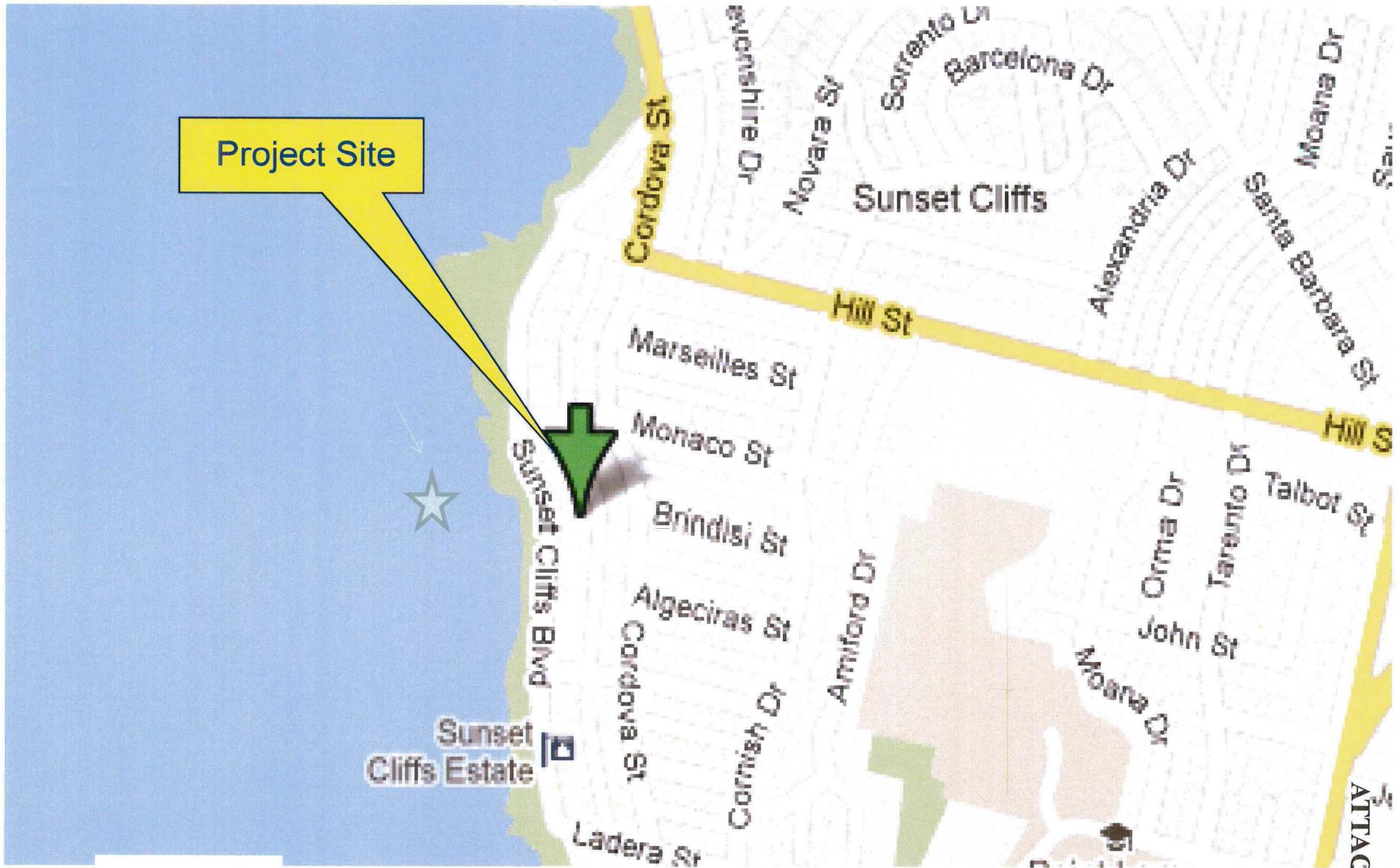
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Ownership Disclosure Statement
8. Project Site Plans





Land Use Map

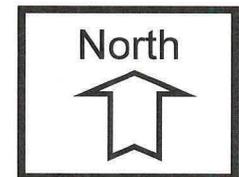




Project Site

Sunset Cliffs

Project Location Map



PROJECT DATA SHEET

PROJECT NAME:	CLAUSEN RESIDENCE - PROJECT NO. 369275	
PROJECT DESCRIPTION:	CDP/SDP for demolition of an existing single-family residence and construction of a new 7,307 square foot single-family residence	
COMMUNITY PLAN:	Peninsula	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Single Family Residential	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-7 HEIGHT LIMIT: 24/30 Feet LOT SIZE: 0.143 acre (5,000 min required) FLOOR AREA RATIO: 0.5 FRONT SETBACK: 15 Feet SIDE SETBACK: 7.5 Feet REAR SETBACK: 5 Feet PARKING: 2 spaces required; 6 provided		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	RS-1-7	SF Residential
SOUTH:	RS-1-7	SF Residential
EAST:	RS-1-7	SF Residential
WEST:	Sunset Cliffs Park	Pacific Ocean
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	Recommended approval on a vote of 12-0-0 w/no conditions	

HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1305347
SITE DEVELOPMENT PERMIT NO. 1335759
CLAUSON RESIDENCE - PROJECT NO. 369275

WHEREAS, THE CLAUSON FAMILY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single-family residence and construct a new two-story, 7,269-square-foot single family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1305347 and 1335759), on portions of a 0.34-acre site; and

WHEREAS, the project site is located at 875 Sunset Cliffs Boulevard in the RS-1-7 zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay (Beach Impact Area) & Residential Tandem Parking Overlay Zone, within the Peninsula Community Plan and Local Coastal Program Land Use Plan area; and

WHEREAS, the project site is legally described as Lot 19 in Block M of Azure Vista Map No. 1981, filed in the Office of the County Recorder of San Diego County, on January 4, 1927; and

WHEREAS, on December 10, 2014, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759, pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, on October 16, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 10, 2014.

FINDINGS:

Coastal Development Permit – SDMC Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The project site does not contain any existing physical access way utilized by the general public; the Sunset Cliffs Boulevard public right-of-way lies adjacent to the site and includes facilities for vehicular, bicycle and pedestrian access. Existing coastal access in the area will not be affected by the project in any way as all development will occur on private property and will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a local coastal program land use plan. The project site is not located on or adjacent to an identified visual access corridor, and will enhance and protect public views to and along the ocean and other scenic coastal areas as specified within the Peninsula Community Plan and Local Coastal Program (PCP/LCP).

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. An environmental review was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). Environmentally sensitive lands in the form of sensitive coastal bluffs are present on site. A coastal bluff edge lies off-site west of the project property, located under the pavement of Sunset Cliffs Boulevard, at which point the approximately thirty-foot high bluff descends down to the Pacific Ocean; the western portion of the project property lies within the 100 foot top of bluff area. SDMC Section 143.0143(f) requires new development to be set back at least 40 feet from the coastal bluff edge. The existing home currently observes an approximate 57 foot setback from the bluff edge; the proposed home will observe a 68 foot bluff edge setback, increasing the bluff edge setback by an additional 9 feet. The proposed development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The Peninsula Community Plan and Local Coastal Program (PCP/LCP) designates the project site for single-family residential land use and the project density is consistent with this designation. The proposed development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and PCP/LCP goals encouraging neighborhood "compatibility and continuity". The proposed project complies with the RS-1-7 zone, bluff edge setback requirements, and applicable regulations of the Land Development Code; conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and are incorporated into Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759. The proposed coastal development is in conformity with the PCP/LCP and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property fronting the easterly side of Sunset Cliffs Boulevard, across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The project site is not located between the nearest public roadway and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The proposed coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. Findings for Site Development Permit Approval - Municipal Code Section 126.0504(a)

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes replace an existing single-family residence with a new two-story, 7,269-square-foot single family residence. The PCP/LCP designates the project site for single-family residential land use and the project density is consistent with this designation. The

proposed development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and PCP/LCP goals encouraging neighborhood "compatibility and continuity". The proposed development project meets all applicable regulations and is consistent with the recommended land use, design guidelines, and coastal development standards in effect for this site per the adopted PCP/LCP, the Progress Guide and General Plan. The proposed development will not adversely affect the PCP/LCP.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to demolish an existing single-family residence and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. An environmental review was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). Environmentally sensitive lands in the form of sensitive coastal bluffs are present on site. A coastal bluff edge lies off-site west of the project property, located under the pavement of Sunset Cliffs Boulevard, at which point the approximately thirty-foot high bluff descends down to the Pacific Ocean; the western portion of the project property lies within the 100 foot top of bluff area. The existing home currently observes an approximate 57 foot setback from the bluff edge; the proposed home will observe a 68 foot bluff edge setback, increasing the bluff edge setback by an additional 9 feet. The proposed project complies with the RS-1-7 zone and applicable regulations of the Land Development Code, and conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the land development code.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The proposed project meets the intent, purpose, and goals of the underlying RS-1-7 zone and the adopted PCP/LCP, complies with the applicable regulations of the Land Development Code and no deviations or variances are required.

Site Development Permit - Supplemental Findings - Section 126.0504

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project proposes to demolish an existing single-family residence and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The proposed home will be located in approximately the same area of the site as the existing structures to be demolished, within an area that is previously disturbed. An environmental review was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). Environmentally sensitive lands in the form of sensitive coastal bluffs are present on site. A coastal bluff edge lies off-site west of the project property, located under the pavement of Sunset Cliffs Boulevard, at which point the approximately thirty-foot high bluff descends down to the Pacific Ocean; the western portion of the project property lies within the 100 foot top of bluff area. The existing home currently observes an approximate 57 foot setback from the bluff edge; the proposed home will observe a 68 foot bluff edge setback, increasing the bluff edge setback by an additional 9 feet. The project required the preparation of a geotechnical report which analyzed the suitability of the design and siting of the proposed development, and the report concluded that there are no geotechnical conditions that would preclude the construction of the proposed structures. The project is consistent with applicable environmentally sensitive lands regulations of the Land Development Code, including the Coastal Bluff and Beaches Design Guidelines. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The project proposes to demolish an existing single-family residence and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. The site is developed with an existing home and detached garage and the area proposed for construction is previously disturbed. The site does not contain natural land forms. A geotechnical report prepared for the project which concluded that with proper engineering design and utilization of standard construction practices, any potential impacts from local/regional/geologic hazards would be less than significant. The project has been

properly designed, and must comply with the applicable conditions of approval and regulations during construction permitting, development and operation. A Water Quality Technical Report was prepared for the project which concluded that the project would not substantially increase flow rates or volumes from existing conditions and existing drainage patterns would remain significantly the same. Permit conditions require the project to meet the City's Storm Water Standards and ongoing permanent BMP maintenance prior to construction permit issuance. The site is not within a 100-year flood hazard area, nor is it mapped as being within a Very High Fire Hazard Zone. The Land Development Code states that only native or other drought tolerant plant species shall be used in landscaped areas in order to minimize irrigation requirements and reduce potential slide hazards due to overwatering of the coastal bluffs. The project proposes a plant palette which includes both native and non-native species, all of which are drought tolerant. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project proposes to demolish an existing single-family residence and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property across the street from Sunset Cliffs Natural Park and the Pacific Ocean. An environmental review was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). Environmentally sensitive lands in the form of sensitive coastal bluffs are present on site. A coastal bluff edge lies off-site west of the project property, located under the pavement of Sunset Cliffs Boulevard, at which point the approximately thirty-foot high bluff descends down to the Pacific Ocean; the western portion of the project property lies within the 100 foot top of bluff area. The existing home currently observes an approximate 57 foot setback from the bluff edge; the proposed home will observe a 68 foot bluff edge setback, increasing the bluff edge setback by an additional 9 feet. The project is consistent with applicable environmentally sensitive lands regulations of the Land Development Code, including the Coastal Bluff and Beaches Design Guidelines, and the conditions of approval and applicable laws require compliance with the same during project permitting, construction, and operation. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The project proposes to demolish an existing single-family residence and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property. The project site is not located on or adjacent to lands mapped as the Multiple Habitat Planning area. Therefore, the proposed development is not subject to and is consistent with the City of San Diego's Multiple Species Conservation Program Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property fronting the easterly side of Sunset Cliffs Boulevard, across the street from Sunset Cliffs Natural Park and the Pacific Ocean. Because of required compliance with the conditions of approval and applicable regulations relating to issues such as grading, erosion and stormwater management, the project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes to demolish an existing single-family residence with detached garage, and construct a two-story, 7,269-square-foot single family residence with a swimming pool, retaining walls and site landscaping on private property fronting the easterly side of Sunset Cliffs Boulevard, across the street from Sunset Cliffs Natural Park and the Pacific Ocean. An environmental review was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). As disclosed elsewhere in these findings, the project must comply with the other relevant conditions of approval and all applicable City, state and federal regulations. No potentially significant impacts to sensitive coastal resources would result from the project and therefore, no mitigation measures are required. As such, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed Development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759, are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1305347 and 1335759, a copy of which is attached hereto and made a part hereof.

Patricia J. FitzGerald
Development Project Manager
Development Services

Adopted on: December 10, 2014

Job Order No. 24004684

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004684

COASTAL DEVELOPMENT PERMIT NO. 1305347
SITE DEVELOPMENT PERMIT NO. 1335759
CLAUSON RESIDENCE - PROJECT NO. 369275
HEARING OFFICER

This Coastal Development Permit No. 1305347 and Site Development Permit No. 1335759, is granted by the Hearing Officer of the City of San Diego to THE CLAUSON FAMILY TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0708 and 143.0110. The 0.34 acre site is located at 875 Sunset Cliffs Boulevard in the RS-1-7 zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay (Beach Impact Area) & Residential Tandem Parking Overlay Zone, within the Peninsula Community Plan area. The project site is legally described as Lot 19 in Block M of Azure Vista Map No. 1981, filed in the Office of the County Recorder of San Diego County, on January 4, 1927.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing residence and construct a new single family residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 10, 2014, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single-family residence and detached garage, and construction of a two-story, 7,269-square-foot single family residence with four (4) parking spaces within carport structures, two (2) surface parking spaces, a swimming pool and site walls;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Alley Improvement: the applicant shall construct a current City Standard full width concrete alley, adjacent to the project site, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

TRANSPORTATION REQUIREMENTS:

17. A minimum of two (2) automobile spaces are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

PLANNING/DESIGN REQUIREMENTS:

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

LANDSCAPING REQUIREMENTS:

19. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

20. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 sq-ft area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the

Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity

22. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- High Occupancy Use: Within 30 days of an increase in single dwelling unit occupancy that results in six or more persons eighteen years of age and older residing in a single dwelling unit for a period of 30 or more consecutive days, a property owner shall apply for a Residential High Occupancy Permit in accordance with Section 112.0102. The Residential High Occupancy Permit application and applicable fees shall be resubmitted annually by the property owner to ensure compliance with the provisions of SDMC 123.0503. A fee waiver for economic hardship may be requested with the permit application and shall be granted in accordance with Process One where a property owner demonstrates to the satisfaction of the City Manager that their annual income is less than the Area Median Income.

APPROVED by the Hearing Officer of the City of San Diego on December 10, 2014, by Resolution No. HO-_____.

Permit Type/PTS Approval No.: CDP No. 1305347/SDP No. 1335759
Date of Approval: December 10, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Patricia J. FitzGerald
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

THE CLAUSON FAMILY TRUST
Owner/Permittee

By _____

Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

THE CITY OF SAN DIEGO

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

CLAUSON RESIDENCE

Project No. For City Use Only

369275

Project Address:

875 Sunset Cliffs Blvd.
 San Diego, CA 92107

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

CLAUSON FAMILY TRUST

Owner Tenant/Lessee Redevelopment Agency

Street Address:

4515 GRANGER ST.

City/State/Zip:

SAN DIEGO, CA 92107

Phone No:

619-226-4055

Fax No:

619-226-1101

Signature :

[Handwritten Signature]

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

LEGAL DESCRIPTION

LOT 19 IN BLOCK "M" OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED AT THE SOUTHEASTERLY CORNER OF SUNSET CLIFFS BLVD AND MONACO ST. ELEVATION = 42.96' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLotted IN THIS REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA. 92107.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 531-410-36.
5. THE AREA OF THE SUBJECT PROPERTY IS APPROXIMATELY 0.34 ACRES.

ABBREVIATIONS

- ASPH ASPHALT
- CONC CONCRETE
- LL ELEVATION
- FF FINISH FLOOR
- FS FINISH SURFACE
- GF GARAGE FINISH FLOOR
- TW TOP OF WALL
- TYP TYPICAL

PATRICK F. CHRISTENSEN, P.L.E. 7206 Date

03-17-14
03-19-14



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'



CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS AND SURVEYORS PLANNERS
7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (658)271-9901 FAX: (658)271-8912

01 existing conditions topographic survey

NOTE: FEATURES SHOWN HEREIN WERE OBTAINED FROM 2014 AERIAL PHOTOGRAPHY AND MAPPED PHOTOGRAPHICALLY. THESE FEATURES ARE DRAWN AS SEEN FROM AN AERIAL VIEW AND MAY NOT DEPICT GROUND LEVEL FEATURES AND OBTAINED IMPROVEMENTS.

JN 2014-19

project team

- owner/permittee**
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SAN DIEGO, CA. 92107
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- architect**
ARCHITECTS hanna gabriel wells
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WORK: 619.523.8465 FAX: 619.523.8467
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CHRISTENSEN ENGINEERING & SURVEYING
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DEBBE CLAUSON
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MICHAEL BEREMAN | mberem@ce&s.com
- DAN ADLER** | DAdler@christensenwheeler.com

legal description

LOT 19 IN BLOCK "M" OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

APN: 531-410-36

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1975) AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA. 92107

TYPE OF CONSTRUCTION: TYPE V

OCCUPANCY CLASSIFICATION: R-3

REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 130347

SITE DEVELOPMENT PERMIT / 1333765

ZONING INFORMATION: PENINSULA, COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (SAR), COASTAL FAZ PART 77, PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING OVERLAY ZONES

ZONE: RS-1-7

MAX BUILDING HEIGHT: 24'00"

LOT AREA: 14,645 S.F. (0.34 ACRES)

ALLOWABLE F.A.R.: 0.5

PROPOSED F.A.R.: 0.5 (7,307 SF / 14,645 SF)

ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF

PROPOSED GROSS FLOOR AREA: 7,286 SF

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

MIN. FRONT SETBACK: 15

MIN. SIDE SETBACK: 7.5

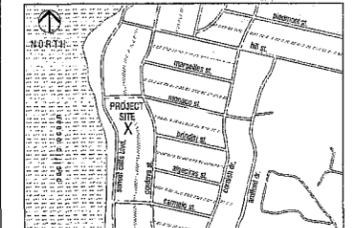
MIN. REAR SETBACK: 5

GEOLOGIC HAZARD CATEGORY: 43 & 52 (SEISMIC SAFETY STUDY, GRID TILE: 15)

LANDSCAPE AREA SQUARE FOOTAGE: 4,158 SF

* REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

- C1.1 TOPOGRAPHIC SURVEY
- C1.2 GRADING AND DRAINAGE PLAN
- L1.1 LANDSCAPE CONCEPT PLAN
- AS0.1 SITE DEMOLITION PLAN
- AS1.1 SITE PLAN
- AS1.2 SITE SECTIONS
- A1.1 FIRST & SECOND FLOOR PLANS
- A1.2 ROOF PLAN
- A2.1 BUILDING ELEVATIONS

ARCHITECTS
hanna gabriel wells

coastal development permit

DESIGNED BY:
ARCHITECTS hanna gabriel wells
1555 BACON STREET
SAN DIEGO, CA. 92107
TEL: 619.523.8465
FAX: 619.523.8467

PROJECT ADDRESS:
875 SUNSET CLIFFS BOULEVARD
SAN DIEGO, CA. 92107

PROJECT NAME:
CLAUSON RESIDENCE

SHORT TITLE:
topographic survey

5
4
3
2 2014 november 04
1 2014 september 19
revisions:

original date:
2014 may 01

sheet 1 of 9

C1.1

PROJECT #: 369275

CONCEPTUAL PLANT LEGEND:

MIN. 24" BOX STREET SUCH AS:
 METROSIDEROS EXCELSUS, NEW ZEALAND CHRISTMAS TREE
 CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE

SHADE TREE OR FOCAL TREE SUCH AS:
 OLEA SPP. - OLIVE TREE
 ARBUTUS SPP. - STRAWBERRY TREE
 CERCIIS SPP. - WESTERN REDBUD
 LAEGESTRÖEMIA SPP. - CRAPE MYRTLE
 ACACIA SPP. - WEEPING ACACIA

LOW SHRUBS/PERENNIALS SUCH AS:
 SALVIA SPP., PENSTEMON SPP.,
 COTONEASTER SPP., RHAMNUS SPP.,
 WESTRINGIA SPP., ROSEMARY SPP.,
 PHORLIUM SPP., KANGAROO PAW,
 BULBINE SPP.

LOW GRASSES/GROUNDCOVER SUCH AS:
 MUILLENBERGIA SPP., LOMANDRA SPP.,
 FESTUCA SPP., CAREX SPP., LYSEIUM SPARTA,
 CHONDROPTALUM SPP., DYMONDIA SPP.,
 HUECHERA SPP.

FOCAL OR SCREEN PLANTS SUCH AS:
 LAURUS NOBILIS, PODOCARPUS ICEE BLUE,
 PITTOSPORIUM SILVER SHEEN,
 ACCA SELLOWIANA, HETEROMELES SPP.

NATIVE SHRUBS SUCH AS:
 ARCTOSTAPHYLOS SPP.,
 CEANOTHUS SPP.

**AGAVE SPP., YUCCA SPP.,
 DRACAENA SPP., CORDYLNE SPP.**

LANDSCAPE CONCEPT PLAN NOTES

PLANTING CONCEPT:

1. ALL LANDSCAPING AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO DESIGN GUIDELINES, AS WELL AS WATER CONSERVATION ORDINANCES AND ALL COUNTY LANDSCAPE REGULATIONS ALONG WITH APPLICABLE INDUSTRY STANDARDS AND ALL OTHER REGIONAL STANDARDS.
2. FINAL LANDSCAPE CONSTRUCTION PLANS WILL SPECIFY AREAS OF PERMEABLE PAVERS AND WILL BE COORDINATED WITH THE PROJECT CIVIL ENGINEER.
3. ALL STREET TREES SHALL BE LOCATED OUTSIDE ALL CITY ROW AREAS AND ALL UTILITY, GAS, AND WATER EASEMENTS, UNLESS OTHERWISE APPROVED BY THE CITY AND UTILITY AGENCY.
4. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF WALKS, CURBS, OR STREET PAVEMENTS. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.
5. ALL CUT SLOPES GREATER THAN 3' AND FILL SLOPES GREATER THAN 3' SHALL BE PLANTED WITH DROUGHT TOLERANT SHRUBS AND FLATTED GROUNDCOVER. ANY SMALLER SLOPES SHALL BE TREATED WITH A STABILIZING NATIVE FLOWERING HYDROSEED MIX OR PLANTED WITH SLOPE STABILIZING PLANT MATERIAL.
6. ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
7. COLOR FROM PLANT FOLIAGE, BARK AND FLOWERS WILL BE UTILIZED IN DEVELOPING A WARM, FRIENDLY AND VISUALLY APPEALING OR CURIOUS PROJECT IDENTITY.
8. PRIMARY VEHICULAR PARKING WILL BE IDENTIFIED AND ACCENTED WITH SPECIAL GROUPINGS OF TREES, FLOWERING SHRUBS, GROUNDCOVERS, LIGHTING, AND DECORATIVE PAVING.
9. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS AND "HARDSCAPE" AWAY FROM ALL STRUCTURES.
10. ALL SOILS WILL BE AMENDED AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOILS TESTING LABORATORY TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH. A SOIL REPORT SHALL BE OBTAINED BY THE LANDSCAPE CONTRACTOR AND SUBMITTED TO THE CITY ALONG WITH CERTIFICATE OF COMPLETION.
11. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
12. ALL AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS WITH MATERIAL OF EQUAL KIND AND SIZE.
13. ALL SHRUB AREAS SHALL RECEIVE 2" BARKCHIP MULCH.
14. ALL TREES SHALL BE STAKED IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
15. DECORATIVE COBBLE AND BOULDERS WILL BE PLACED IN RELATION TO UNIQUE SUCCULENTS AND DROUGHT TOLERANT GRASSES WHERE SPECIFIED ON THE CONCEPT PLANS.
16. ALL STRUCTURES, FENCING AND REQUIRED CONCRETE FOOTINGS SHOWN ON THE PLANS ARE TO BE LOCATED OUTSIDE OF THE CITY R.O.W. AREAS.

IRRIGATION CONCEPT:

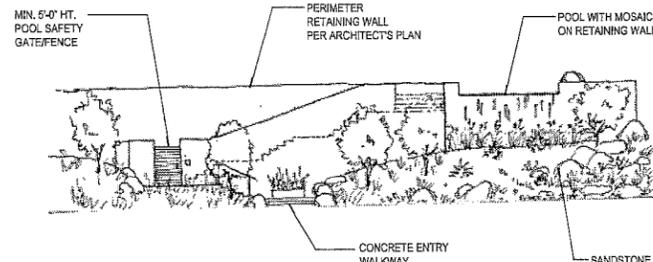
1. IRRIGATION CIRCUITS SHALL BE ORGANIZED INTO HYDROZONES AND FOLLOW DESIGN GUIDELINES, AS WELL AS WATER CONSERVATION ORDINANCES AND ALL COUNTY LANDSCAPE REGULATIONS ALONG WITH APPLICABLE INDUSTRY STANDARDS AND ALL OTHER REGIONAL STANDARDS.
2. ALL IRRIGATION SYSTEMS WILL BE PERMANENT AND SHALL UTILIZE SUB-SURFACE DRIP IN PLANTING AREAS. TREES SHALL RECEIVE BUBBLERS SEPARATE FROM SHRUB PLANTINGS.
3. CONTROLLER SHALL BE IN A SINGLE LOCATION AND CAPABLE OF MULTIPLE PROGRAMMING AND SHALL BE CONNECTED TO A RAIN SHUT-OFF DEVICE. THE SYSTEM SHALL BE DESIGNED TO UTILIZE A MASTER VALVE AND FLOW SENSOR IN ORDER TO CONSERVE WATER IF A LINE BREAK HAPPENS.
4. THE OVERALL IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER EFFICIENCY AND CONSERVATION IN MIND, THROUGH GOOD DESIGN, SPECIFICATION OF EFFICIENT MATERIALS, AND PROPER LANDSCAPE MAINTENANCE AND MANAGEMENT.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF SAN DIEGO DESIGN GUIDELINES AND ALL OTHER REGIONAL AND STATE STANDARDS.

MAINTENANCE CONCEPT:

1. ALL ON-SITE AND ROW, LANDSCAPING SHALL BE MAINTAINED ON A DAILY/ WEEKLY BASIS BY THE HOMEOWNER'S LANDSCAPE MANAGEMENT COMPANY TO MEET THE CITY'S STANDARDS AND NEIGHBORHOOD EXPECTATIONS.

INSTALLATION & MAINTENANCE RESPONSIBILITY

CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL LANDSCAPING INCLUDING FRONT YARD AND SIDE YARD LANDSCAPE AREAS AS SHOWN.



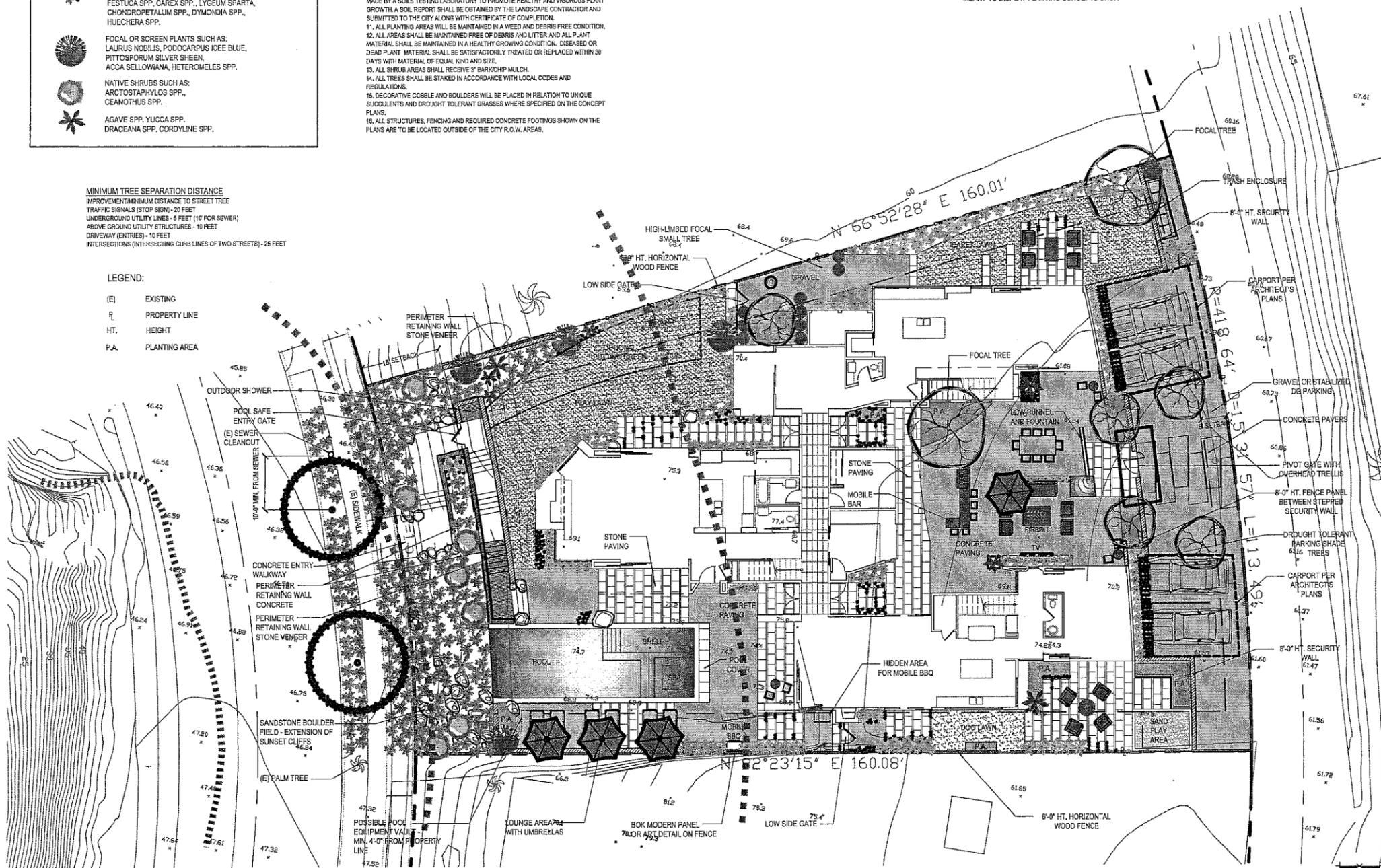
FRONT ENTRY ELEVATION

REFER TO ARCHITECT'S ELEVATIONS FOR EXACT WALL HEIGHTS AND LOCATION. THIS RENDERING IS MEANT TO DISPLAY PLANTING CONCEPTS ONLY.

MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT MINIMUM DISTANCE TO STREET TREE
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

LEGEND:

- (E) EXISTING
- PL PROPERTY LINE
- HT. HEIGHT
- P.A. PLANTING AREA



directory

owner/permissions
 DON & DEBBIE CLAUSON
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 SAN DIEGO, CA 92107
 HOME: 619.228.4055

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 WORK: 605.715.3564

DON CLAUSON
 DEBBIE CLAUSON

RANDY HANNA
 KRISTIN SHULTZ

PATRICK CHRISTENSEN

WILLIAM JOYCE
 MICHAEL BREWSTER

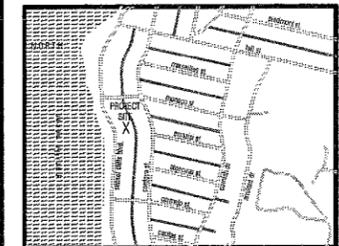
legal description

LOT 19 IN BLOCK 'M' OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1997.

development summary

APN: 581-410-36
PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING HOUSE AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE
PROJECT ADDRESS: 675 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107
TYPE OF CONSTRUCTION: TYPE V
OCCUPANCY CLASSIFICATION: R-3
PROPOSED APPROVAL: COASTAL DEVELOPMENT PERMIT
ZONING INFORMATION: PENINSULA, COASTAL
ZONE: RS-1-7
MAX BUILDING HEIGHT: 24'60
LOT AREA: 14,845 S.F. (0.34 ACRES)
ALLOWABLE F.A.R.: 0.5
PROPOSED F.A.R.: 0.5
ALLOWABLE GROSS FLOOR AREA: 7,422.5 SF
PROPOSED GROSS FLOOR AREA: 7,807 SF
MIN. FRONT SETBACK: 15
MIN. SIDE SETBACK: 7.5
MIN. REAR SETBACK: 6
 * REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

- CL.1 TOPOGRAPHIC SURVEY
- L.1 GRADING AND DRAINAGE PLAN
- AS.0.1 SITE DEMOLITION PLAN
- AS.1.1 SITE PLAN
- AS.1.2 SITE SECTIONS
- AL.1 FIRST & SECOND FLOOR PLANS
- A1.2 ROOF PLAN
- A2.1 BUILDING ELEVATIONS

ARCHITECTS
 hanna gabriel wells

coastal development permit

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project address:
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 SAN DIEGO, CA 92107

project name:
 clauson residence

original date:
 2014 march 21

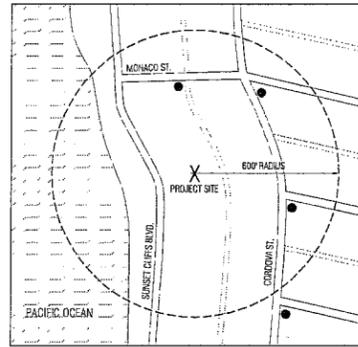
sheet title: LANDSCAPE CONCEPT PLAN

sheet 3 of 9

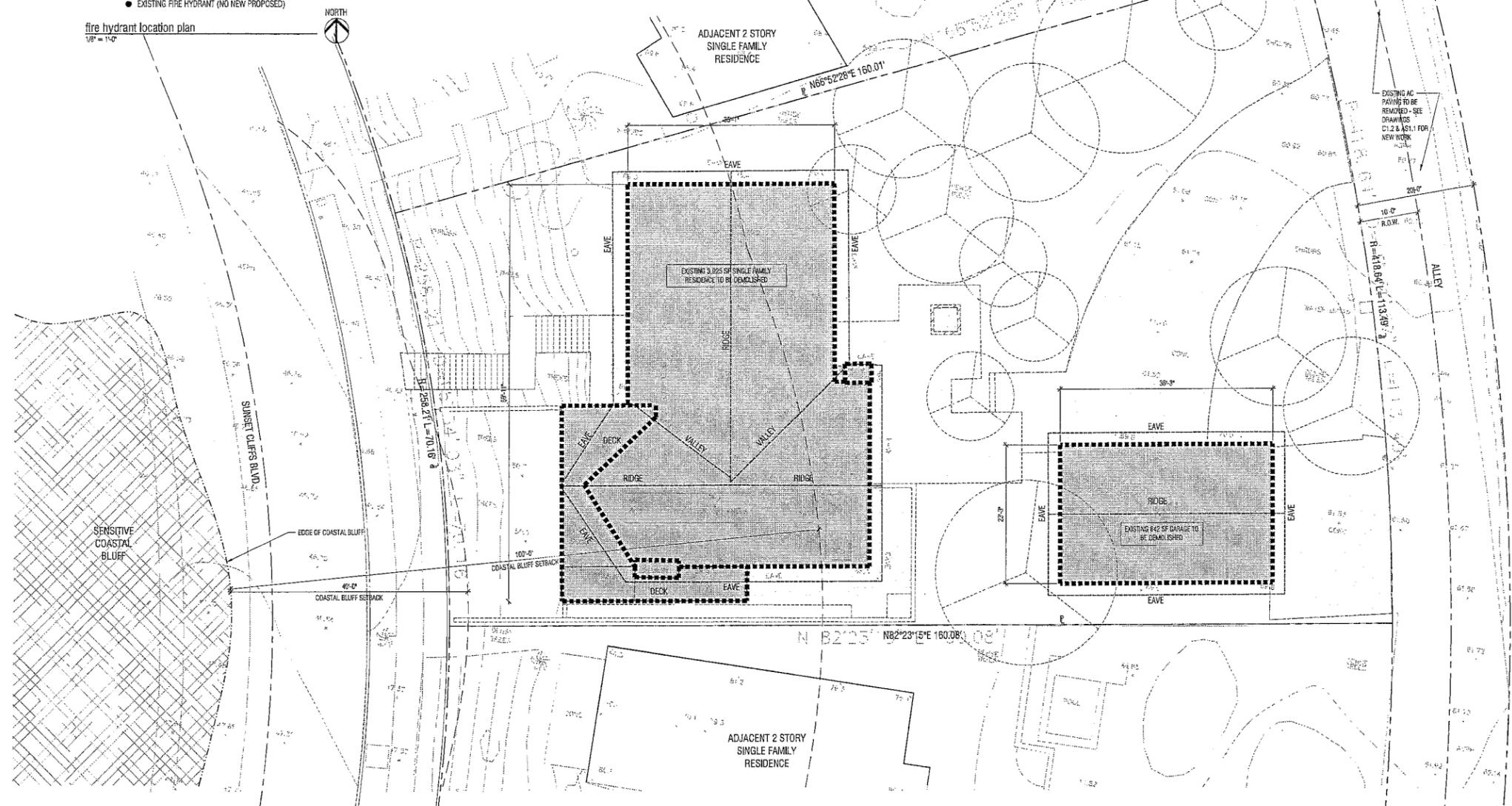
L1.1

PROJECT #: 369275





● EXISTING FIRE HYDRANT (NO NEW PROPOSED)
 fire hydrant location plan
 1/8" = 1'-0"



01 demolition site plan
 1/8" = 1'-0"

sheet general notes

- REFER TO SITE PLAN SHEET AS1.1 FOR ADDITIONAL INFORMATION

legend

- INDICATES EXISTING BUILDING TO BE DEMOLISHED
- INDICATES EXISTING PAVING TO BE REMOVED
- INDICATES EXISTING AC PAVING TO BE REMOVED SEE SHEET C1.2 / AS1.1 FOR NEW WORK
- INDICATES EXISTING SITE WALL TO BE REMOVED
- PROPERTY LINE
- INDICATES EXISTING TREE TO BE REMOVED

project team

owner/permittee
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 WORK: 619.584.1700

OWNER: DON CLAUSON / DEBBIE CLAUSON
ARCHITECT: HANNA GABRIEL WELLS / FRANK SANCHEZ
CIVIL ENGINEER: TOMMY CHRISTENSEN
LANDSCAPE ARCHITECT: WILLIAM LUYCKE / MICHAEL BERGMAN
GEOTECHNICAL ENGINEER: DAN ADLER

legal description

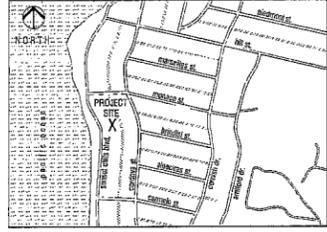
LOT 19 IN BLOCK M OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

APN: 591-416-35

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1978) AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE
PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107
TYPE OF CONSTRUCTION: TYPE V
OCCUPANCY CLASSIFICATION: R-3
REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 1306347
 SITE DEVELOPMENT PERMIT / 1335750
ZONING INFORMATION: PENINSULA, COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (SAN COASTAL, FAA PART 77, PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEN PARKING OVERLAY ZONES
ZONE: RS-1-7
MAX BUILDING HEIGHT: 24'00"
LOT AREA: 14,645 S.F. (0.34 ACRES)
ALLOWABLE F.A.R.: 0.5
PROPOSED F.A.R.: 0.5 (7,307 SF / 14,645 SF)
ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF
PROPOSED GROSS FLOOR AREA: 7,269 SF
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
MIN. FRONT SETBACK: 15'
MIN. SIDE SETBACK: 7.5'
MIN. REAR SETBACK: 5'
GEOLOGIC HAZARD CATEGORY: 43 & 62 (SEISMIC SAFETY STUDY, GRID TILE: 16)
LANDSCAPE AREA SQUARE FOOTAGE: 4,158 SF
 * REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

- C1.1 TOPOGRAPHIC SURVEY
- C1.2 GRADING AND DRAINAGE PLAN
- L1.1 LANDSCAPE CONCEPT PLAN
- AS0.1 SITE DEMOLITION PLAN
- AS1.1 SITE PLAN
- AS1.2 SITE SECTIONS
- AL1.1 FIRST & SECOND FLOOR PLANS
- AL2 ROOF PLAN
- A2.1 BUILDING ELEVATIONS

ARCHITECTS
 hanna gabriel wells

coastal development permit

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 SAN DIEGO, CA 92107
 project name:
 clauson residence

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 2 2014 november 04
 1 2014 september 19
 revisions:

original date:
 2014 may 01

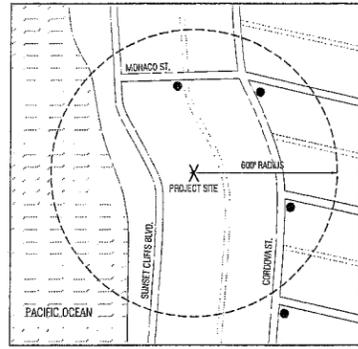
sheet title:
 site demolition plan

sheet 4 of 9

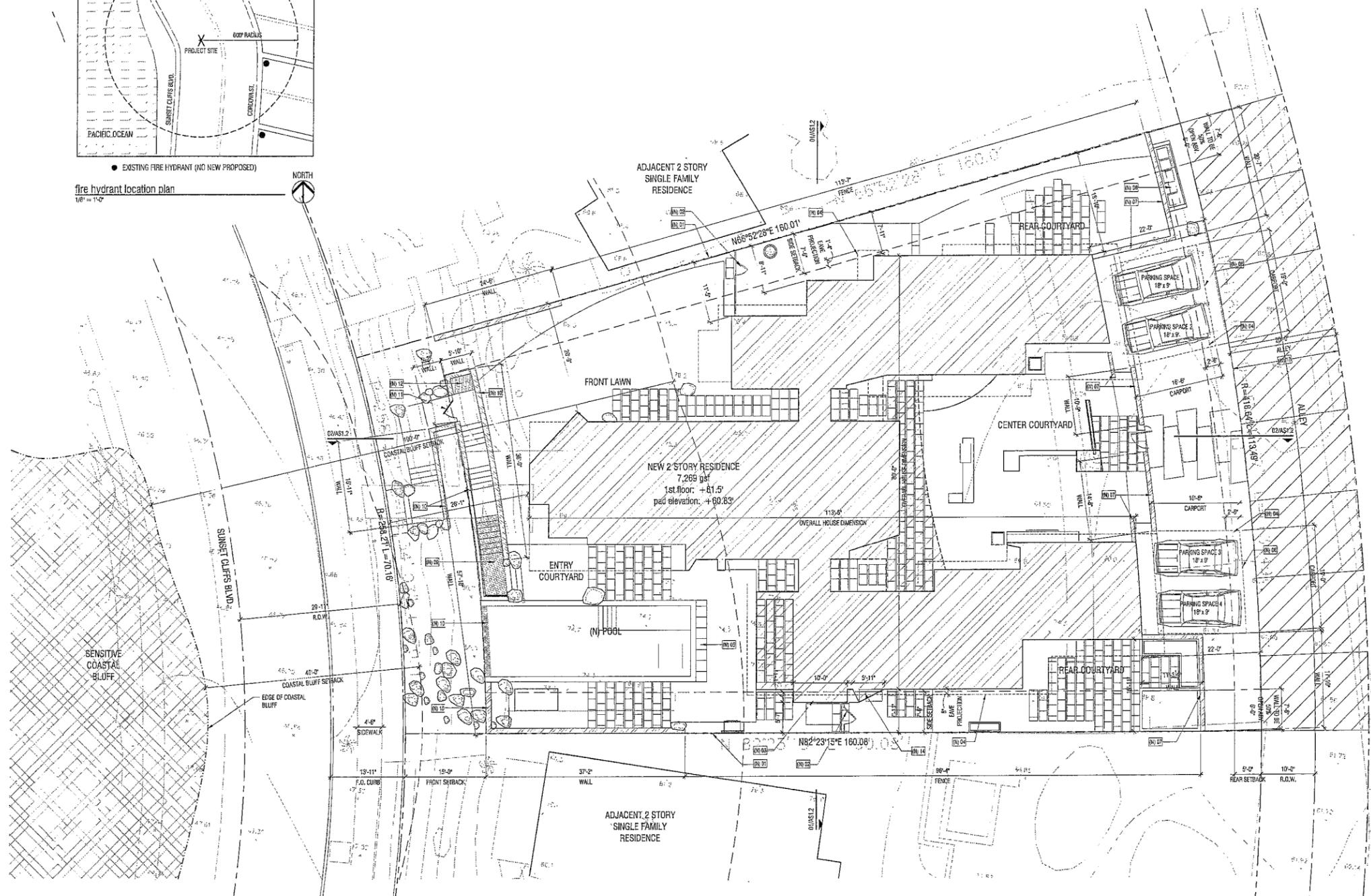
AS0.1

PROJECT #: 369275

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fire hydrant location plan
1/8" = 1'-0"



01 site plan
1/8" = 1'-0"

sheet keynotes

- | | |
|--|---|
| (N) 01 NEW 6'-0" HT. WOOD FENCE | (N) 05 NEW WOOD STAIRWAY |
| (N) 02 NEW LOW SIDE GATE | (N) 06 NEW RETAINING WALL |
| (N) 03 FIREPLACE CHIMNEY ARCHITECTURAL PROJECTION | (N) 07 NEW POOL SAFETY GATE |
| (N) 04 ROOF EAVE ARCHITECTURAL PROJECTION - SEE ELEVATIONS FOR ROOF HEIGHT | (N) 08 NEW OUTDOOR SHOWER |
| (N) 05 NEW POOL COVER | (N) 09 NEW FULL WIDTH CONCRETE ALLEY CONSTRUCT PER CITY STANDARD (21' ADJACENT TO THE PROJECT SITE SATISFACTORY TO THE CITY ENGINEER) |
| (N) 06 NEW CARPORT | (N) 10 NEW BAY WINDOW PROJECTION |
| (N) 07 NEW 8'-0" HT. SECURITY WALL - WALL TO BE 80% OPEN ABOVE 8'-0" WHERE NOTED | (N) 11 NEW REUSE RECYCLING AREA |
| (N) 08 NEW REUSE RECYCLING AREA | |

symbols

- | | |
|---------------|------------------|
| X/MAX | BUILDING SECTION |
| P | PROPERTY LINE |
| C | CENTERLINE |
| + +0.00' | SPOT ELEVATION |
| --- ELEVATION | |

setback calculations

PER SAN DIEGO MUNICIPAL CODE TABLE 131-04D & SEC. 113.0443
(RS-1-7):
MIN. FRONT SETBACK = 15'
MIN. SIDE SETBACK = 7.5' (8% OF ACTUAL LOT WIDTH (92.33'))
MIN. REAR SETBACK = 5' (13' - 10' = 3', BUT NO LESS THAN 5')

hardscape requirement

PER SAN DIEGO MUNICIPAL CODE SEC. 131.0447
FRONT YARD AREA (SDMC 113.0276(a)(1)): 1,084 S.F.
HARDSCAPE / PAVING AREA: 371 S.F.
371 S.F. / 1,084 S.F. = .34
TOTAL HARDSCAPE / PAVING COMPLIES: 34% (< 60%)

site plan notes

- BUILDING ADDRESS NUMBERS WILL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6
- THERE ARE NO EXISTING BUS STOPS NEARBY
- NO KNOWN EASEMENTS
- NEW HOUSE TO BE EQUIPPED WITH A RESIDENTIAL SPRINKLER SYSTEM
- SEE LANDSCAPE PLAN SHEET L.1.1 AND SITE DEMOLITION PLAN SHEET AD.1 FOR INFORMATION NOT SHOWN
- SEE GRADING PLAN, SHEET C1.2 FOR ADDITIONAL INFORMATION NOT SHOWN

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legal description

LOT 18 IN BLOCK 114 OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1581, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

APN: 531-410-36

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1979) AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE

PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107

TYPE OF CONSTRUCTION: TYPE V

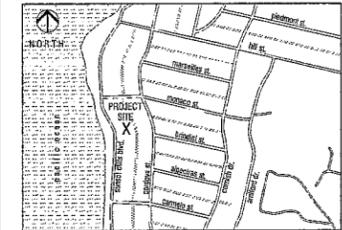
OCCUPANCY CLASSIFICATION: R-3

REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 1908547
SITE DEVELOPMENT PERMIT / 1335759

ZONING INFORMATION: PENINSULA COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (SAL), COASTAL, TIA PART 77, PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING OVERLAY ZONES

ZONE: RS-1-7
MAX BUILDING HEIGHT: 24'-0"
LOT AREA: 14,845 S.F. (0.34 ACRES)
ALLOWABLE F.A.R.: 0.5
PROPOSED F.A.R.: 0.5 (7,307 SF / 14,645 SF)
ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF
PROPOSED GROSS FLOOR AREA: 7,269 SF
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
MIN. FRONT SETBACK: 15'
MIN. SIDE SETBACK: 7.5'
MIN. REAR SETBACK: 5'
GEOLOGIC HAZARD CATEGORY: 43 & 62 (SEISMIC SAFETY STUDY, GRID TILE: 1E)
LANDSCAPE AREA SQUARE FOOTAGE: 4,158 SF
* REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

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- C1.2 GRADING AND DRAINAGE PLAN
- L1.1 LANDSCAPE CONCEPT PLAN
- AD.1 SITE DEMOLITION PLAN
- AS.1 SITE PLAN
- AS.2 SITE SECTIONS
- AT.1 FIRST & SECOND FLOOR PLANS
- AT.2 ROOF PLAN
- AZ.1 BUILDING ELEVATIONS

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project name:
clauson residence

original date:
2014 november 04
1 2014 september 19
revisions:

sheet title:
site plan

sheet 5 of 9

AS1.1

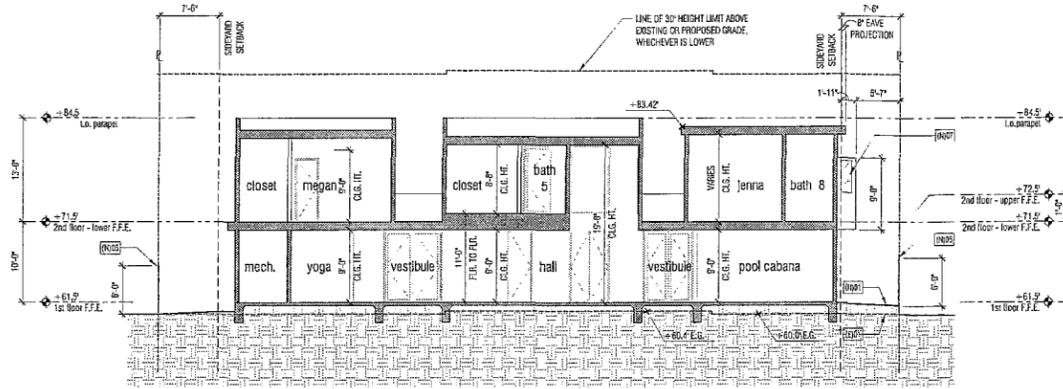
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sheet notes

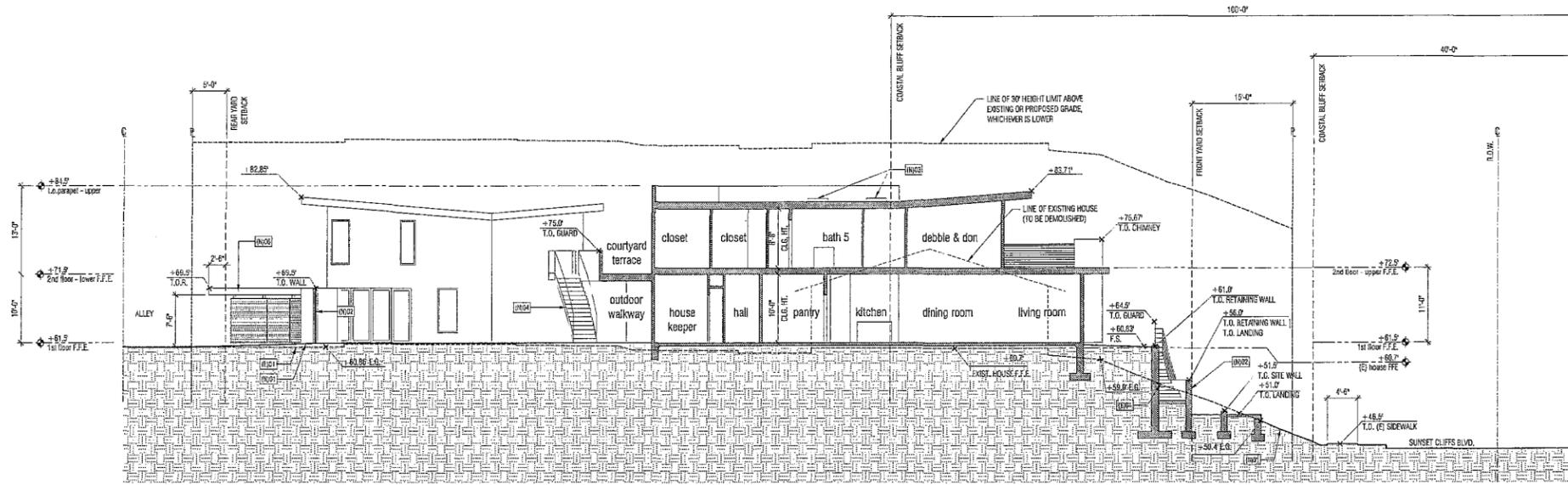
1. REFERENCE 02A1.2 FOR OVERALL STRUCTURE HEIGHT DIAGRAM

sheet keynotes

- (EXIST) LINE OF EXISTING GRADE
- (PROP) LINE OF PROPOSED GRADE
- (NEW) NEW SITE WALL AND GATE PER SITE PLAN
- (NEW) NEW SKYLIGHT PER ROOF PLAN
- (NEW) NEW EXTERIOR STAIR
- (INCA) NEW 8'-0" HEIGHTENCE
- (INCA) NEW CARPORT
- (NEW) NEW BAY WINDOW



01 site section A
1/8" = 1'-0"



02 site section B
1/8" = 1'-0"

project team

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legal description

LOT 19 IN BLOCK 'M' OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1987.

APN: 851-410-38

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1972) AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE

PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107

TYPE OF CONSTRUCTION: TYPE V

OCCUPANCY CLASSIFICATION: R-3

REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 1305347
SITE DEVELOPMENT PERMIT / 1305759

ZONING INFORMATION: PENINSULA, COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (BAY COASTAL, FAA PART 77, PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING OVERLAY ZONES

ZONE: RS-1-7

MAX BUILDING HEIGHT: 24'00"

LOT AREA: 14,645 S.F. (0.34 ACRES)

ALLOWABLE F.A.R.: 0.5

PROPOSED F.A.R.: 0.5 (7,307 SF / 14,645 SF)

ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF

PROPOSED GROSS FLOOR AREA: 7,290 SF

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

MIN. FRONT SETBACK: 15'

MIN. SIDE SETBACK: 7.5'

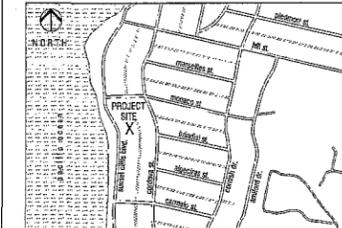
MIN. REAR SETBACK: 5'

SEISMOIC HAZARD CATEGORY: 43 & 52 (SEISMIC SAFETY STUDY, GRID TIE: 15)

LANDSCAPE AREA SQUARE FOOTAGE: 4,156 SF

* REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

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- AS1.1 SITE PLAN
- AS1.2 SITE SECTIONS
- A1.1 FIRST & SECOND FLOOR PLANS
- A1.2 ROOF PLAN
- A2.1 BUILDING ELEVATIONS

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project name:
clauson residence

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1 2014 september 19
rev/draws:

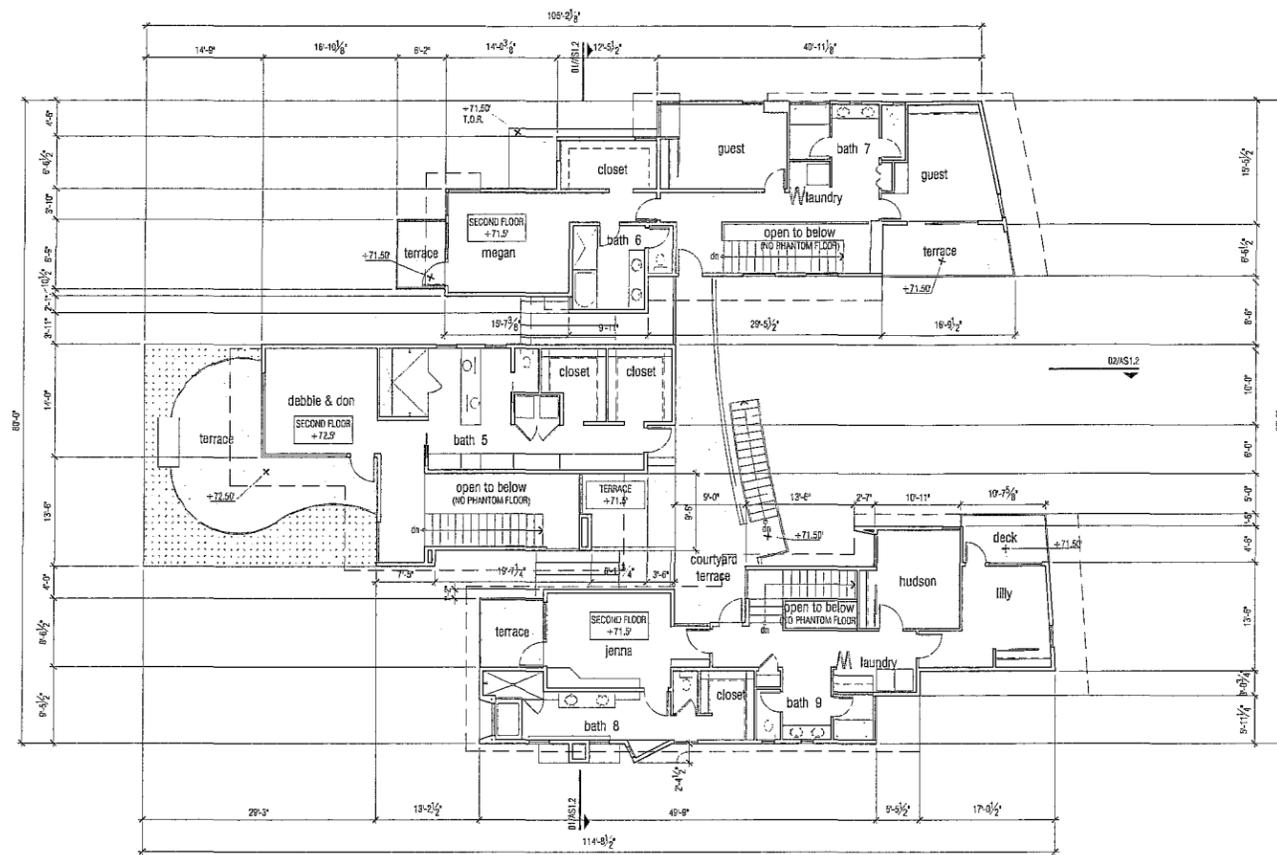
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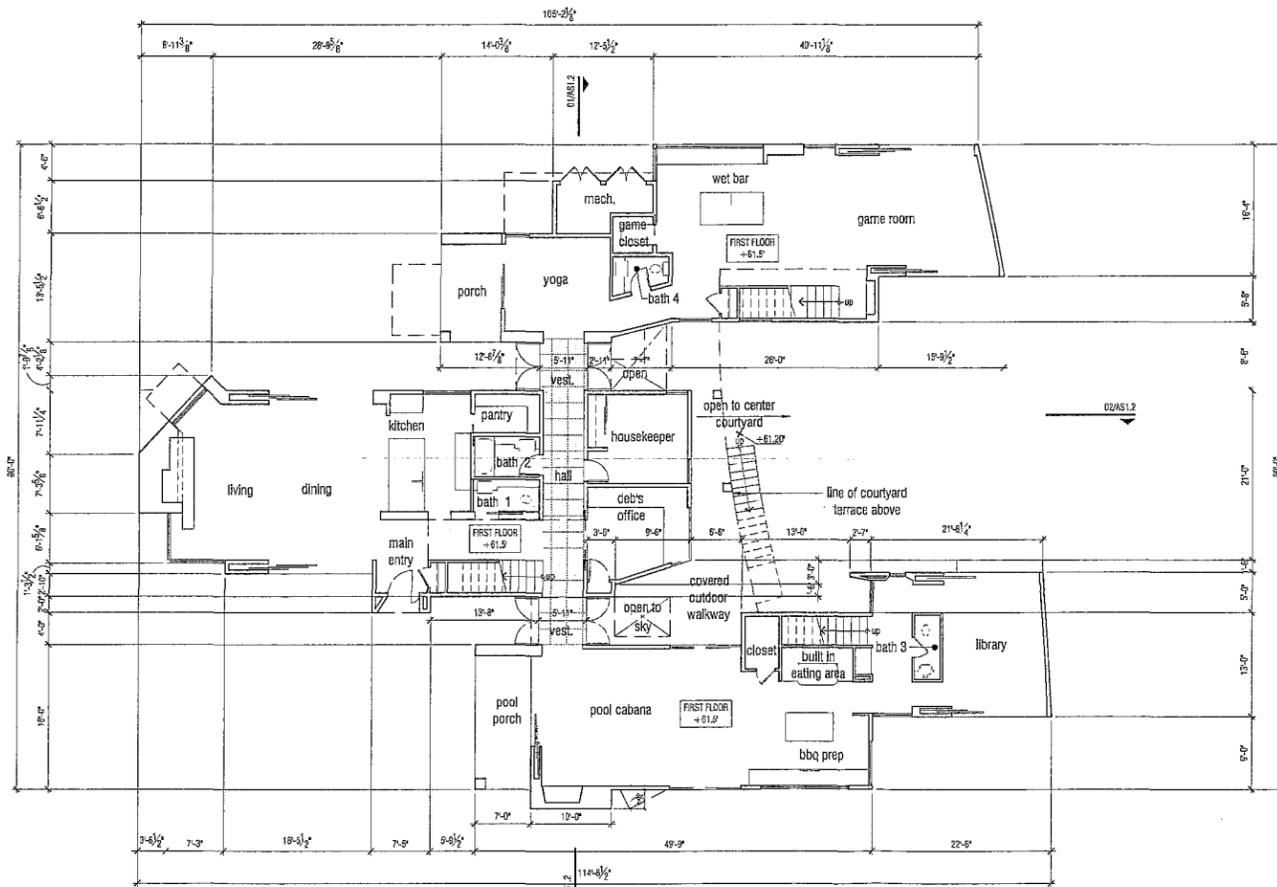
sheet 6 of 9

AS1.2

PROJECT #: 369275



02 second floor plan (3,166 sqf)
1/8" = 1'-0"



01 first floor plan (4,103 sqf)
1/8" = 1'-0"

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legal description

LOT 19 IN BLOCK 'M' OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

APN: 531-410-35

development summary

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PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107

TYPE OF CONSTRUCTION: TYPE V

OCCUPANCY CLASSIFICATION: R-3

REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 1305347
SITE DEVELOPMENT PERMIT / 1335759

ZONING INFORMATION: PENINSULA, COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (SAN COASTAL, FAA PART 77), PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING OVERLAY ZONES)

ZONE: RS-1-7

MAX BUILDING HEIGHT: 24'00"

LOT AREA: 14,845 S.F. (0.34 ACRES)

ALLOWABLE F.A.R.: 0.5

PROPOSED F.A.R.: 0.5 (7,307 SF / 14,845 SF)

ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF

PROPOSED GROSS FLOOR AREA: 7,266 SF

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

MIN. FRONT SETBACK: 15'

MIN. SIDE SETBACK: 7.5'

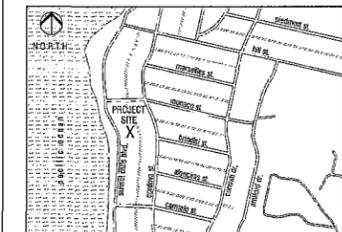
MIN. REAR SETBACK: 5'

SEISMOLOGIC HAZARD CATEGORY: 43 & 52 (SSIMC SAFETY STUDY, GRID TILE: 18)

LANDSCAPE AREA SQUARE FOOTAGE: 4,158 SF

* REFER TO CALCULATIONS ON AS1.1

vicinity map



sheet index

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- A2.1 BUILDING ELEVATIONS

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project name:
clauson residence

original date:
2014 may 01

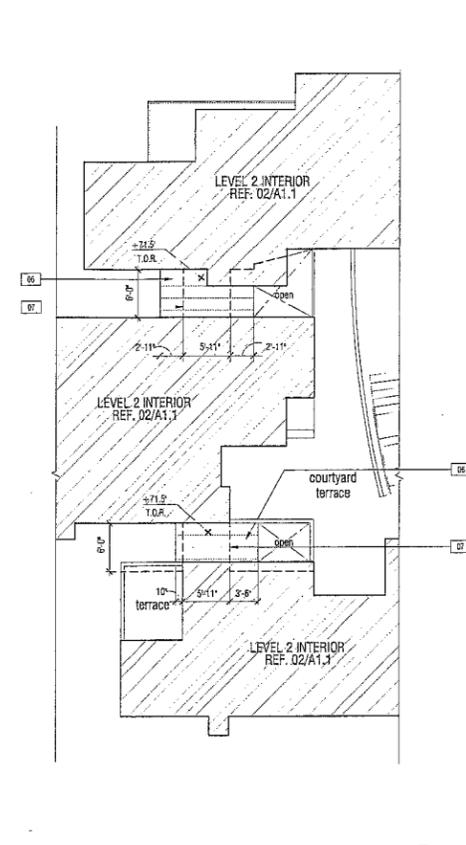
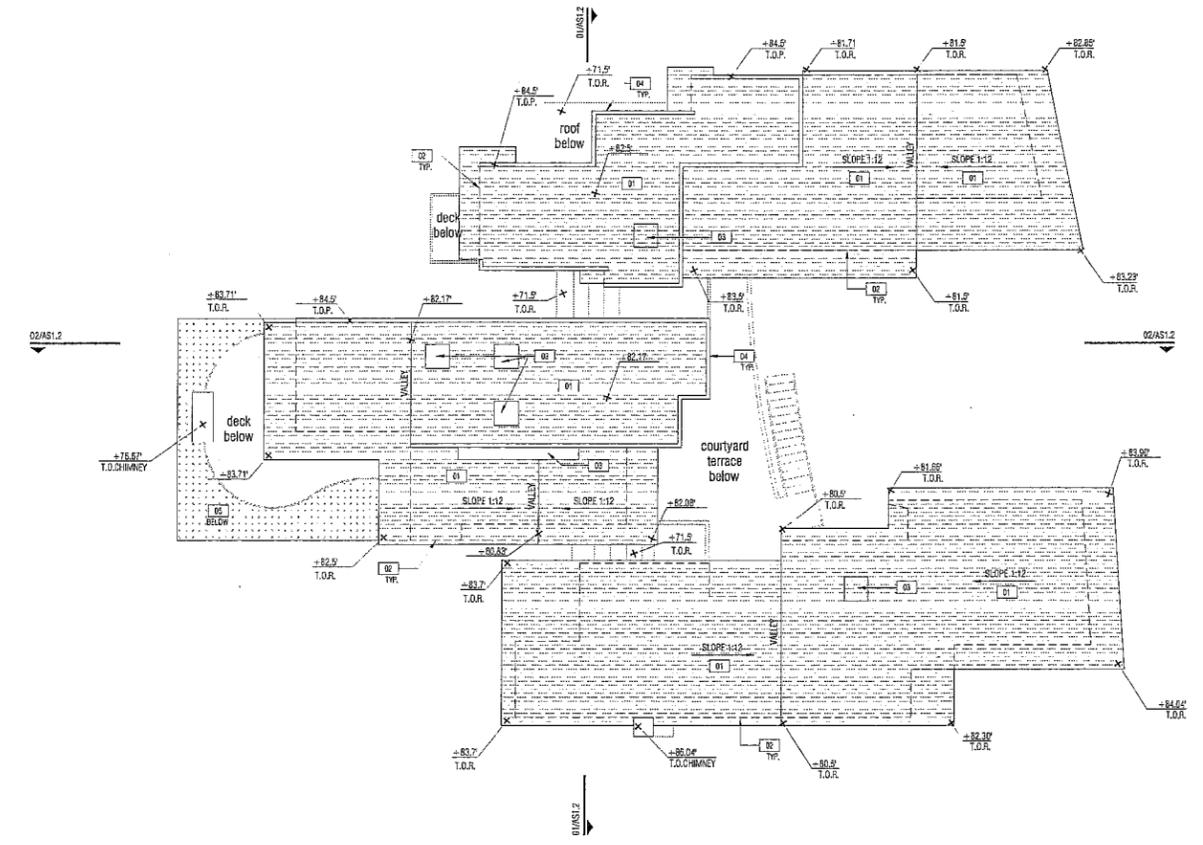
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first & second floor plans

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A1.1

PROJECT #: 369275

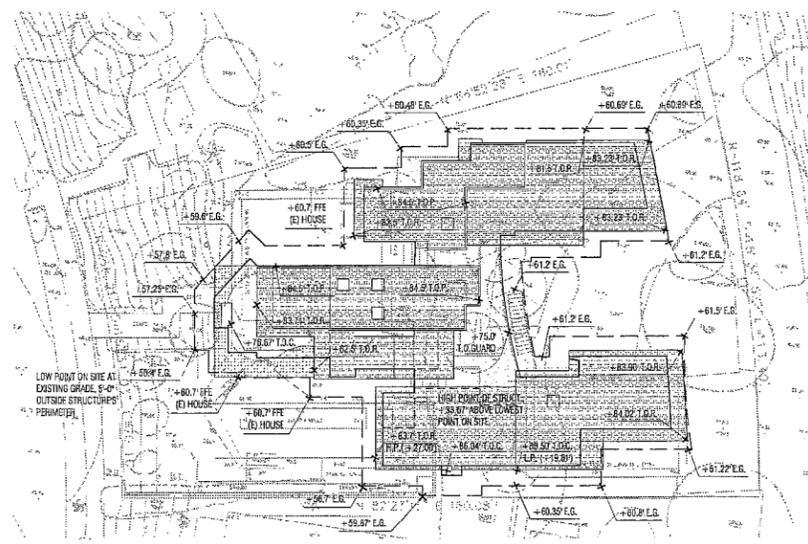
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- roof notes
- NO ROOFTOP EQUIPMENT PROPOSED
- sheet keynotes
- [R1] BUILT UP/BALLAST ROOF
 - [R2] LINE OF WALL BELOW
 - [R3] SKYLIGHT
 - [R4] STUCCO PARAPET
 - [R5] PLANTED ROOF
 - [R6] METAL ROOF ABOVE VESTIBULE
 - [R7] LINE OF WALL BELOW (SHOWN DASHED) REF. DIVA1.1

01a roof plan - upper roof
1/8" = 1'-0"

01b partial lower roof plan - vestibules
1/8" = 1'-0"



- ABBREVIATIONS:
- (E) EXISTING
 - FFE FINISH FLOOR ELEVATION
 - E.G. EXISTING GRADE
 - T.O.C. TOP OF CHIMNEY
 - T.O.P. TOP OF PARAPET
 - T.O.R. TOP OF ROOF
 - H.P. HIGHEST POINT OF ROOF (ELEV.)
 - L.P. LOWEST POINT OF ROOF (ELEV.)

02 overall structure height diagram
1/8" = 1'-0"

PER SOMC SEC. 113.0270(2)(B)

project team

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WILLIAM JOYCE | wj@carroll-llc.com
MICHAEL BRENNAN | michael@cd-llc.com

DAN ADLER | DAdler@christianwheeler.com

legal description

LOT 19 IN BLOCK 'M' OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1991, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1997.

APN: 531-410-36

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1973) AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107

TYPE OF CONSTRUCTION: TYPE V

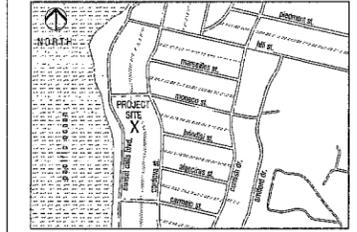
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SITE DEVELOPMENT PERMIT / 1335759

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ZONE: RS-17
MAX BUILDING HEIGHT: 24'00"
LOT AREA: 14,645 S.F. (0.34 ACRES)
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vicinity map



sheet index

- C1.1 TOPOGRAPHIC SURVEY
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- A1.1 FIRST & SECOND FLOOR PLANS
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- AE.1 BUILDING ELEVATIONS

ARCHITECTS

hanna gabriel wells

coastal development permit

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1955 BACON STREET 4
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tel: 619.523.8485 2 2014 november 04
fax: 619.523.8487 1 2014 september 19

project address:
875 SUNSET CLIFFS BOULEVARD
SAN DIEGO, CA 92107

project name:
clauson residence

original date:
2014 may 01

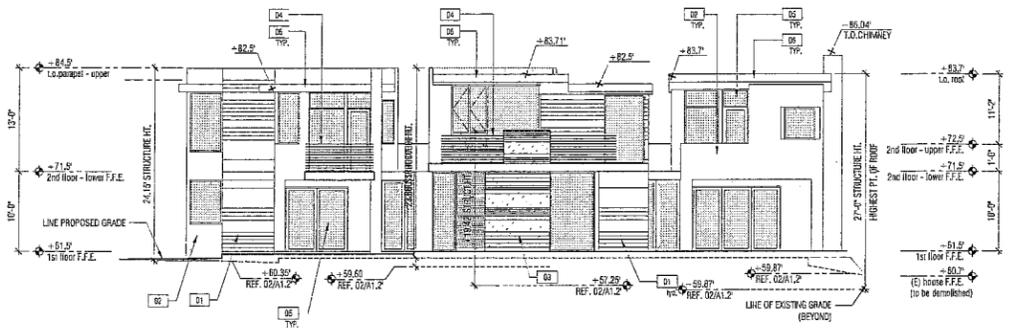
sheet title:
roof plan & height diagram

sheet 8 of 9

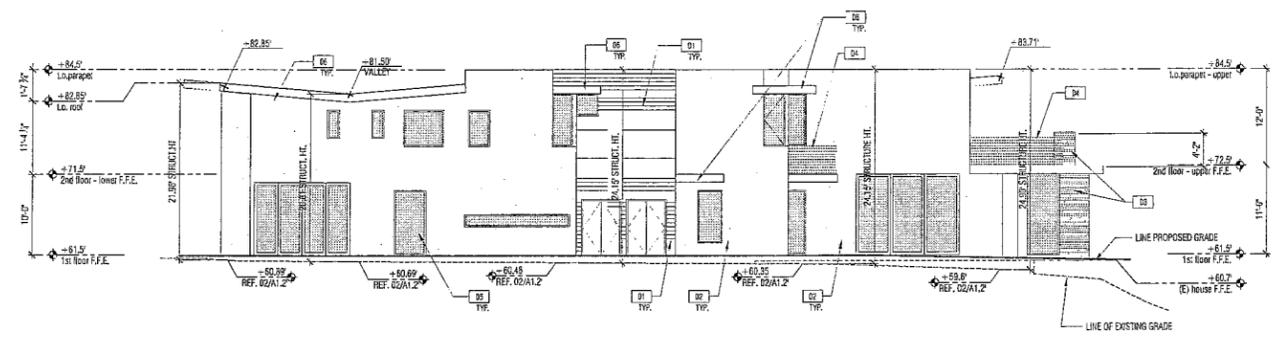
A1.2

PROJECT #: 369275

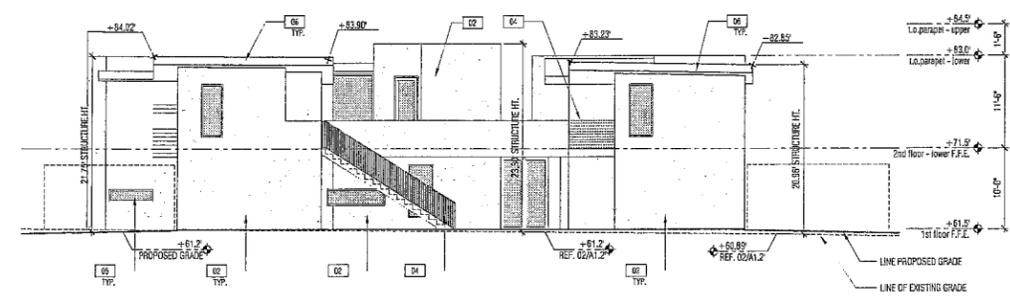
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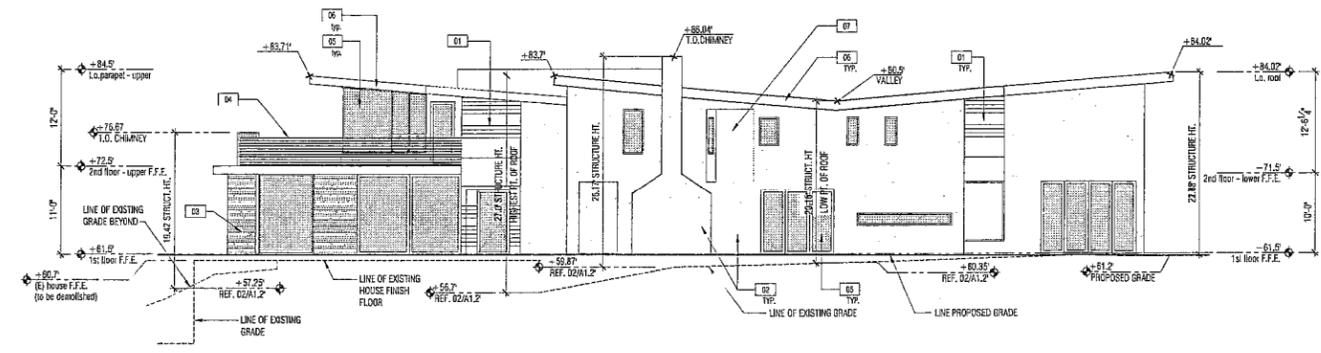
01 west elevation
1/8" = 1'-0"



02 north elevation
1/8" = 1'-0"



03 east elevation
1/8" = 1'-0"



04 south elevation
1/8" = 1'-0"

sheet notes

- STRUCTURE HEIGHT DIMENSIONS SHOWN ARE MEASURED FROM EXISTING OR PROPOSED GRADE, WHICHEVER IS LOWER, PER SDMC SEC. 113.0270(2)(A)
- REFERENCE 02/A1.2 FOR OVERALL STRUCTURE HEIGHT DIAGRAM

sheet keynotes

- 01 NATURAL REDWOOD SIDING
- 02 SMOOTH FINISH STUCCO (COLORS: EARTH TONES)
- 03 BOARD FORMED CONCRETE
- 04 STAINLESS STEEL OR PAINTED RAILING SYSTEM
- 05 CLEAR DUAL-PANE GLASS IN ALUMINUM FRAMES (COLOR: BRONZE)
- 06 METAL FASCIA PANELS (COLOR: BRONZE)
- 07 BAY WINDOW

project team

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legal description

LOT 19 IN BLOCK 'M' OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1891, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 4, 1927.

development summary

PROJECT DESCRIPTION: PLANS FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE (BUILT IN 1973), AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE

PROJECT ADDRESS: 875 SUNSET CLIFFS BOULEVARD, SAN DIEGO, CA 92107

TYPE OF CONSTRUCTION: TYPE V

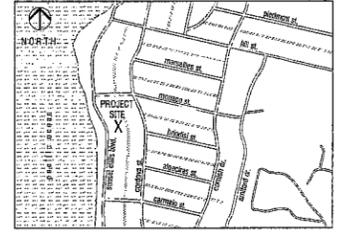
OCCUPANCY CLASSIFICATION: R-3

REQUIRED APPROVAL: COASTAL DEVELOPMENT PERMIT / 1305347
SITE DEVELOPMENT PERMIT / 1325759

ZONING INFORMATION: PENINSULA COASTAL HEIGHT LIMIT OVERLAY ZONE, AIRPORT INFLUENCE AREA (SAN COASTAL, FAA PART 77, PARKING IMPACT OVERLAY (BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING OVERLAY ZONES

ZONE: RS-1-7
MAX BUILDING HEIGHT: 24'00"
LOT AREA: 14,645 S.F. (0.34 ACRES)
ALLOWABLE F.A.R.: 0.5
PROPOSED F.A.R.: 0.5 (7,307 SF / 14,645 SF)
ALLOWABLE GROSS FLOOR AREA: 7,322.5 SF
PROPOSED GROSS FLOOR AREA: 7,030 SF
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
MIN. FRONT SETBACK: 15'
MIN. SIDE SETBACK: 7.5'
MIN. REAR SETBACK: 5'
SEISMOLOGIC HAZARD CATEGORY: 43 & 52 (SEISMIC SAFETY STUDY, GRID TLR: 16)
LANDSCAPE AREA SQUARE FOOTAGE: 4,158 SF
* REFER TO CALCULATIONS ON AS1.1

vicinity map



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revisions:

project address:
875 SUNSET CLIFFS BOULEVARD
SAN DIEGO, CA 92107

project name:
clauson residence

sheet title:
exterior elevations

original date:
2014 may 01

sheet #:
9 of 9

A2.1

PROJECT #: 369275

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